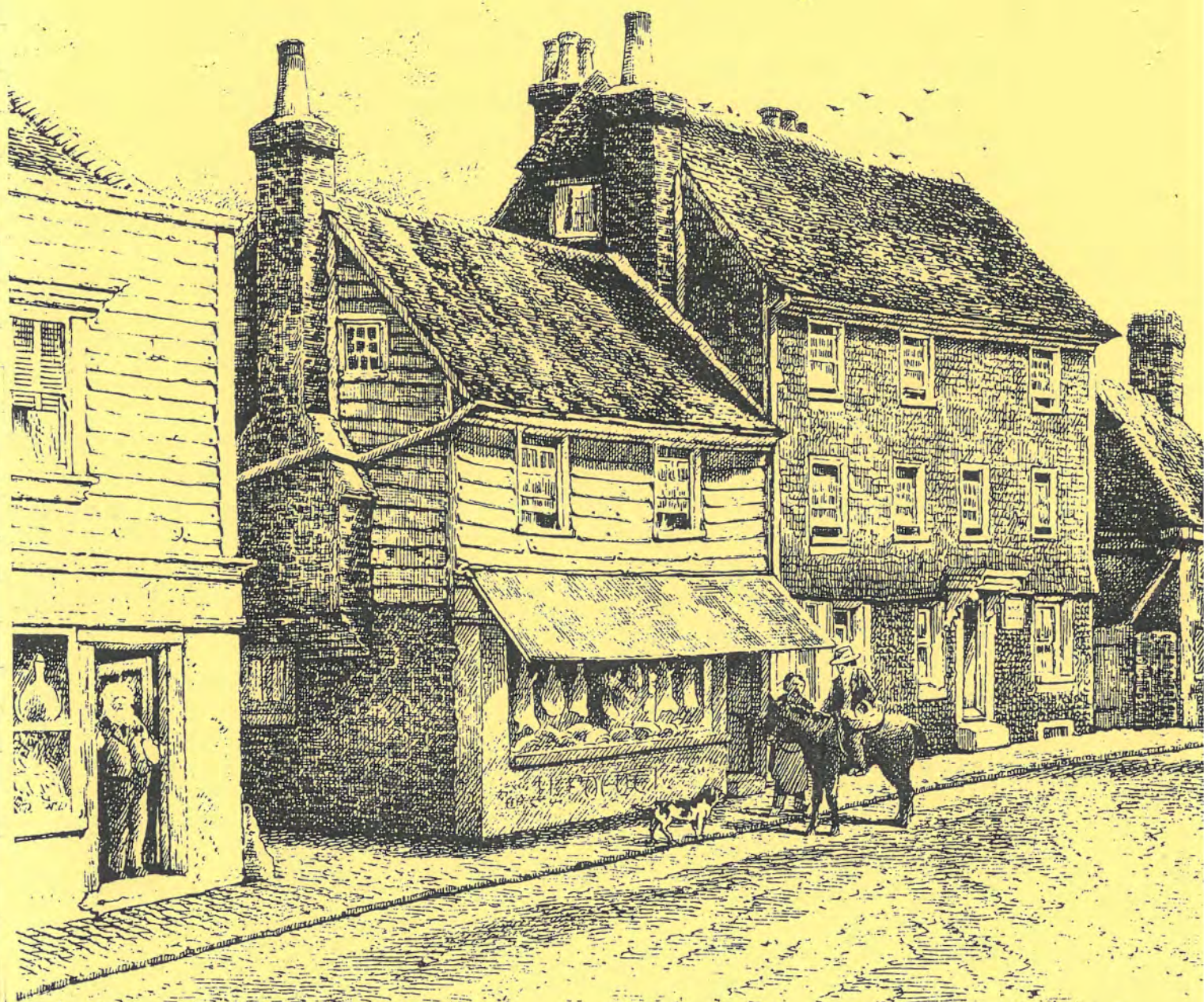


# BEXHILL Old Town



C.A. Graves 1897

**conservation area**



DEVELOPMENT SERVICES COMMITTEE.  
(Thursday, 25th August, 1975)

BEXHILL OLD TOWN  
PROPOSED CONSERVATION AREA.

REPORT BY THE PLANNING OFFICER.

On the 26th July, 1974 the Committee approved a work programme which included the preparation of a Conservation Area report on the Bexhill Old Town area. This report is now completed and presented to the Committee with a recommendation to receive and make it available for public consultation and comment. Following this, a final report suggesting any amendments will be made, and if the Council agree, formal designation of the Old Town as Conservation Area.

During preparation of the Report informal discussions have been held with the Bexhill Charter Trustees and the Bexhill Old Town Preservation Society. Both expressed general agreement to the proposals and the main area proposed for designation. Additionally, they suggested that the area be enlarged on the western and southern boundary to include Millfield and East Down House - a plan showing the precise extent will be displayed at the meeting. There is merit in including both these areas and I would suggest that these revisions be publicised alongside my proposals. The Committee will, of course, receive the formal comments of both bodies during the consultation period and with the public's comments, can then determine exactly the boundaries of the Conservation Area.

The statutory procedure requires that following designation, notices should be published in the London Gazette and local newspaper and given to the Secretary of State, and that suitable publicity be given to the proposals. I have arranged, therefore, for a small Exhibition to be mounted at the Manor Barn on Monday, the 5th September from 2.00 p.m. to 7.00 p.m. and on Tuesday, 9th September from 10.00 a.m. to 7.00 p.m., with a public meeting on Monday evening (the 8th) from 7.00 p.m. to 9.00 p.m., during which the Civic Trust's film "A Future for the Past", which is about conservation, will be shown.

The Committee are RECOMMENDED TO:-

- (a) receive the report and make it available for public comment and purchase at 10p. per copy; to provide copies on deposit at the Bureaux and Public Libraries in Bexhill;
- (b) to invite comments from East Sussex County Council, the public, and organisations on the proposals to be received not later than Monday, 18th September, so that a final report can be made to the Committee at its meeting on the 25th September;
- (c) approve that the exhibition and meeting as described above be undertaken and the Recreation & Leisure Committee be asked to make available the Manor Barn free of charge.

D. F. POWELL,  
Planning Officer.

ROTHER DISTRICT COUNCIL

**BEXHILL OLD TOWN. CONSERVATION AREA**

DAVID F. POWELL, F.R.I.C.S., M.R.T.P.I.  
Planning Officer.

## 1. INTRODUCTION.

1.1 "Every local planning authority shall from time to time determine which parts of their area are areas of special architectural or historic interest, the character or appearance of which it is desirable to preserve or enhance, and shall designate such areas as conservation areas ..." (Section 277 of the Town and Country Planning Act, 1971 as amended by the Town and Country Amenities Act, 1974 ).

1.2 The Rother District Council in October 1974 resolved that:-

1. In principle Rother District Council is in favour of a Bexhill Old Town conservation area, but the view is taken that formal designation must await the production and consideration of a designation report and a formal programme of public consultation in the Old Town;
2. In the meantime, the Council affirms that it is concerned to preserve and enhance the character, appearance and amenities of the Bexhill Old Town area and that consideration of applications for development in the area will reflect this policy.

1.3 The purpose of this report is to assess and recommend the area which should be formally designated as the Bexhill Old Town Conservation Area.

1.4 Informal discussion has taken place during the preparation of this report with The Charter Trustees of Bexhill, and the Bexhill Old Town Preservation Society, and the advice and help given is gratefully acknowledged.

## 2. THE SURVEY.

2.1 The Old Town of Bexhill is situated on the summit of a hill, approximately  $\frac{1}{2}$  mile inland and overlooking the sea (figure No.1), The Church of St. Peter stands appropriately on the highest point some 150'0" above sea level. The settlement was quite separate from the expanding new resort of Bexhill until the Edwardian period and even to-day has a visual distinction, aided by topography and landscape features. A comparison of the extracts reproduced from the Ordnance Survey of 1873 and 1899 (figures 2a and 2b) shows few changes in the village form; there are the newer homes in Belle Hill, the Convalescent Home on Cheeseman's Farm, and from the east the new De La Warr Road, but otherwise Old Town was still very much the village described in Diplock's Guide published in the 1820's. Unfortunately the village, like so many in Sussex, grew up around a main road junction and the changes which have occurred in recent times have been largely due to traffic pressures.

2.2 A visual appraisal of Bexhill Old Town is illustrated on page 22, and the approaches to Old Town from the west and from Church Street are shown on pages 5, 6, 7 & 8. The approach from Chantry Lane, which although not illustrated is nevertheless an important feature in the character of the area, because like Belle Hill it is set in a cutting and thus emphasises the hilltop setting.

The following sections describe features of Bexhill Old Town which make it worthy of designation as a Conservation Area.

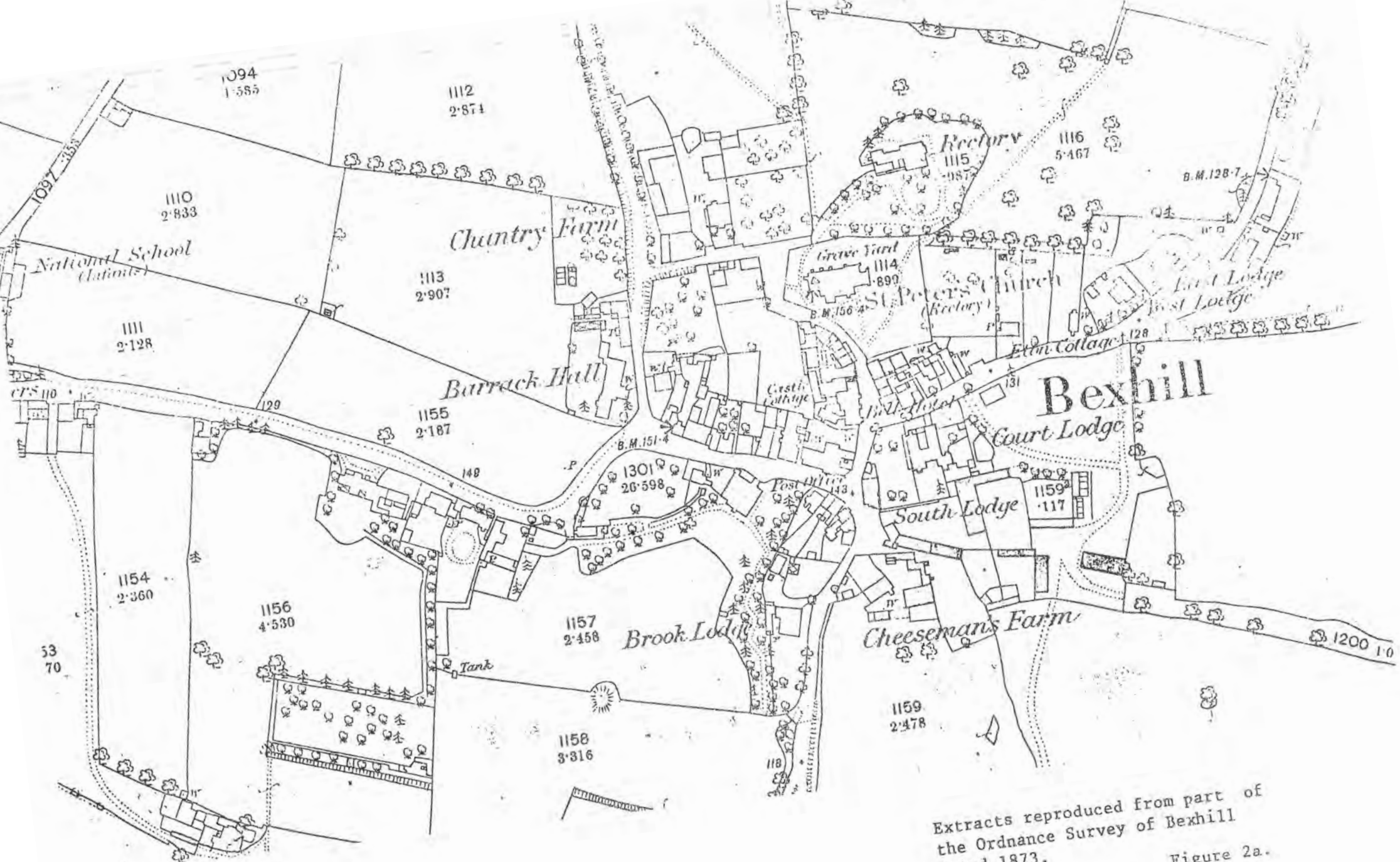


**BEXHILL OLD TOWN**

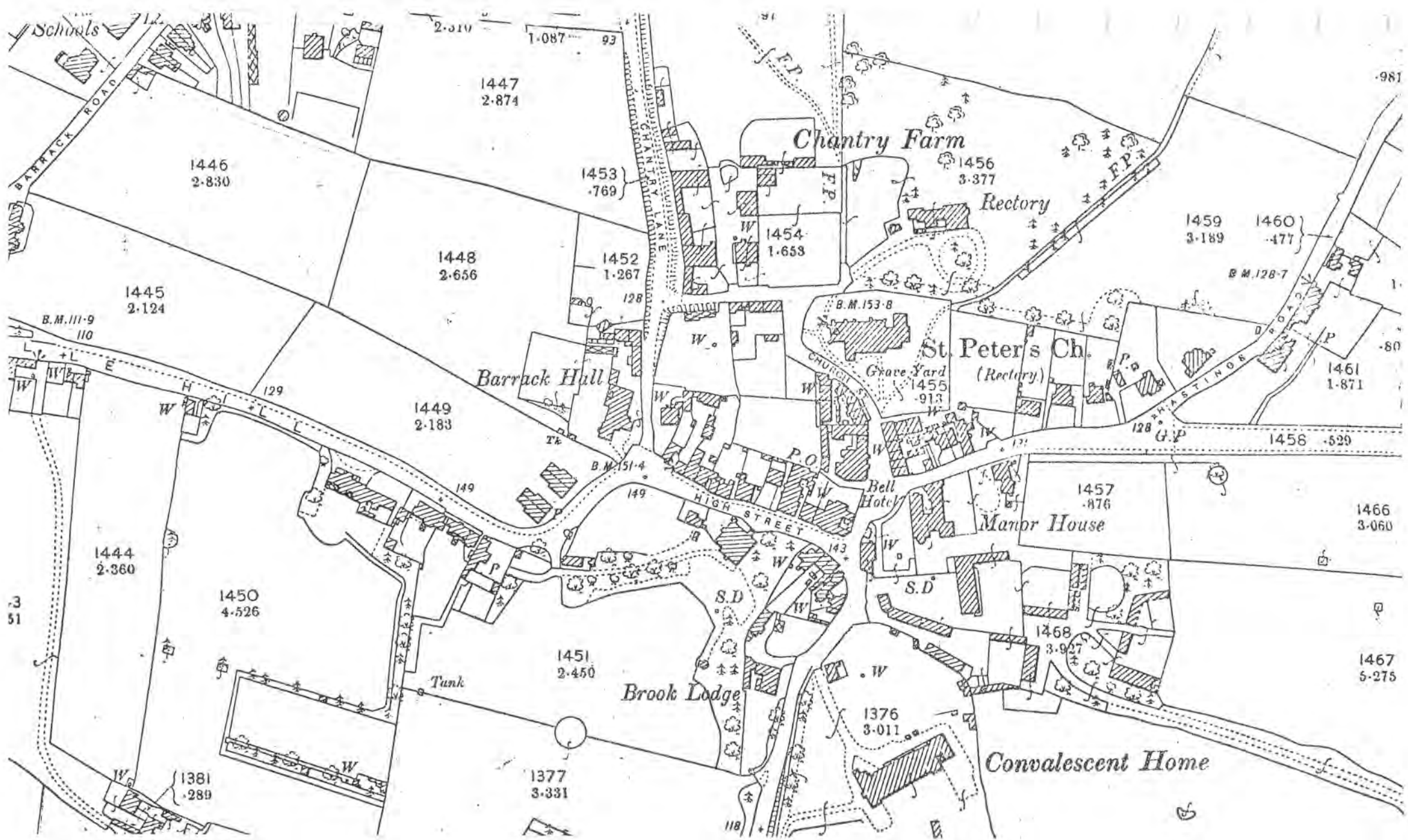
Topographical Setting

Figure No. 1.





Extracts reproduced from part of the Ordnance Survey of Bexhill dated 1873. Scale 1:2500. Figure 2a.

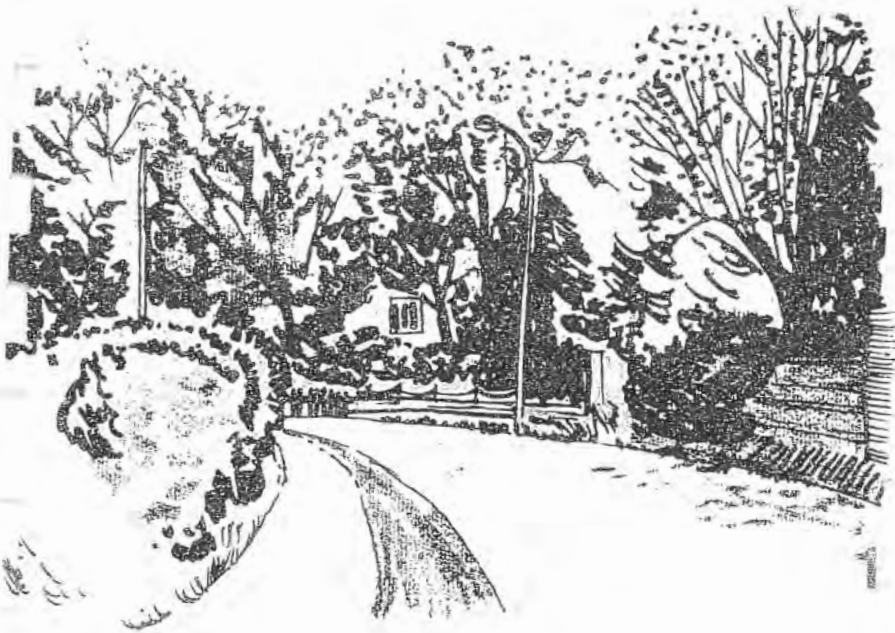


Extract reproduced from part of  
 the Ordnance Survey of Bexhill  
 dated 1899.  
 Scale 1:2500

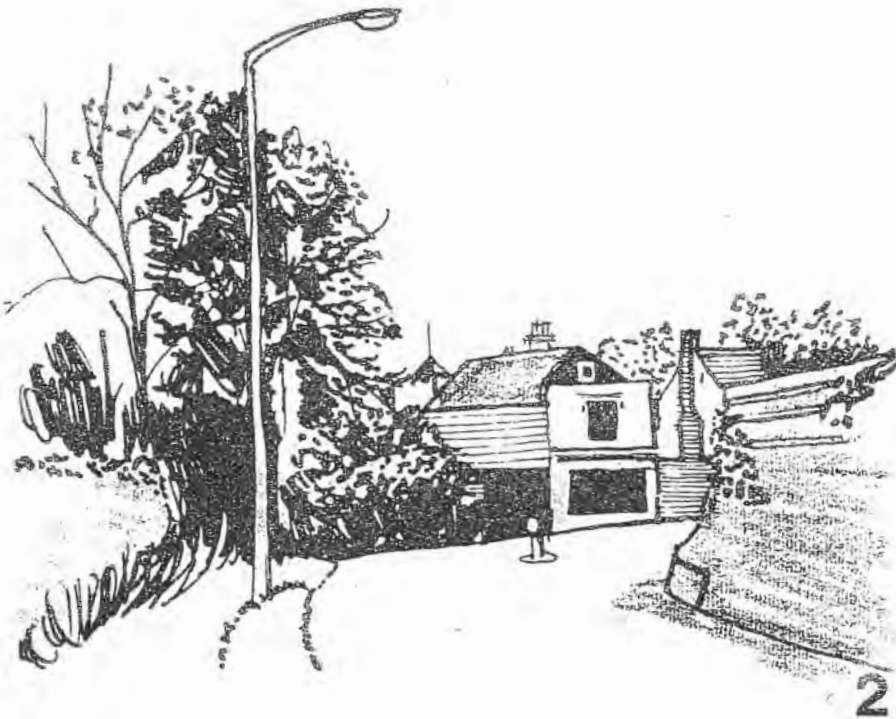
Figure 2b.

**VISUAL SEQUENCES**

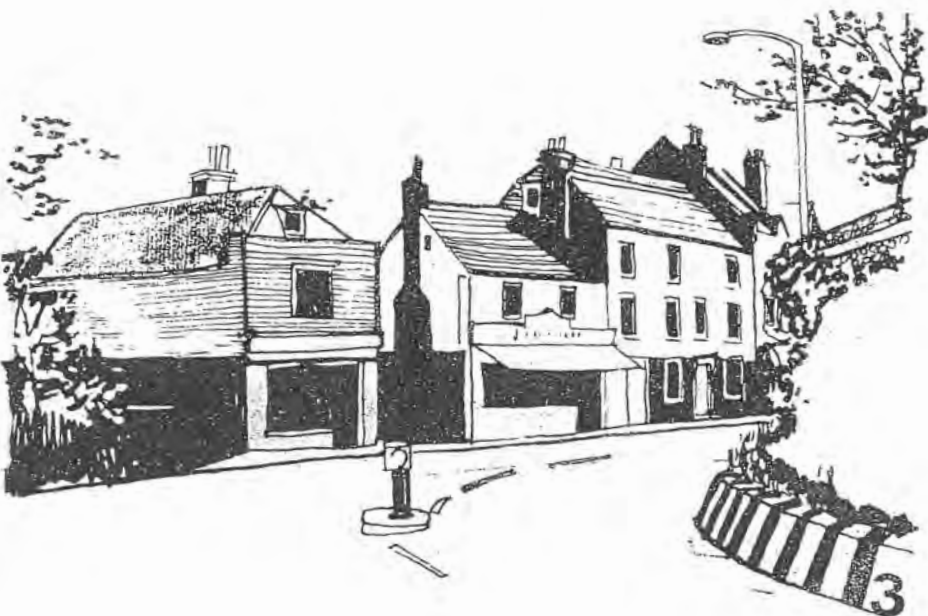




At this point looking towards  
No. 96 hidden amongst the trees...  
A landscape dominated view.



Having turned the corner the  
road bends sharply into  
High Street ... the high flint  
wall to Linkwell emphasises  
this movement .. and a fleeting  
glance of the Church tower.



The entrance to High Street  
... now the scene is quite  
urban ... Chantry Lane plunges  
to the left.

**VISUAL SEQUENCE  
BELLE HILL**

Sketch No. 1.

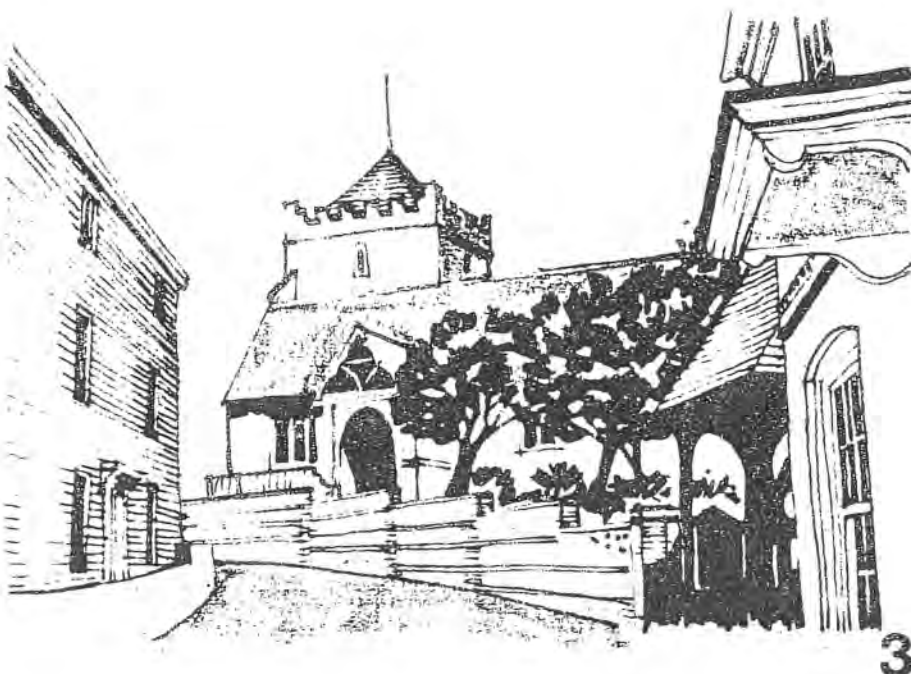


The entrance to Church Street, dominated by the Bell Hotel, with the view closed by the Church roof and the sharp curve of the street.



Progressing towards St. Peter's with the attractive group of buildings formed by the partially clapboarded No.4 and "Lychgates" on the right.

The brick and cobble Churchyard wall draws the pedestrian towards the climax of the street.

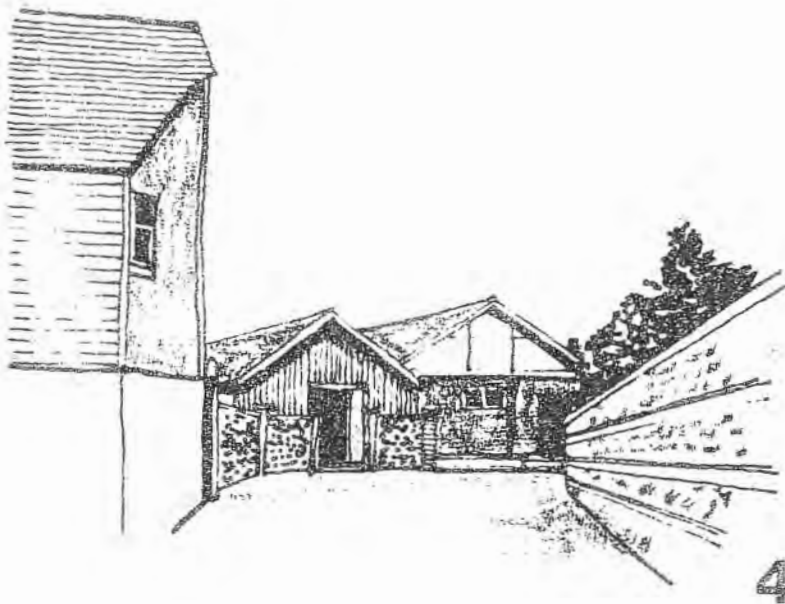


and

finally framed by the clapboarded cottages and The Lychgate, the tower with its familiar Sussex tiled cap is in view.

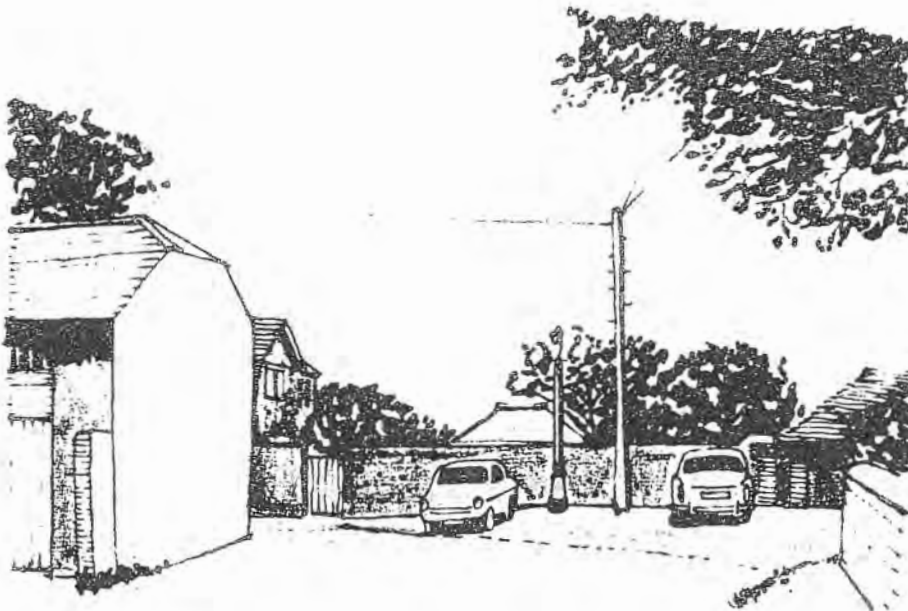
**VISUAL SEQUENCE  
CHURCH STREET**

Sketch No. 2.



Having made the full change in direction, the view is closed by the Community Centre buildings which represent a lost opportunity. The area in front of the western elevation of Tower could have formed attractive partially enclosed space. Hopefully when replacement of the Centre is considered, special regard will be given to the site's unique setting.

4

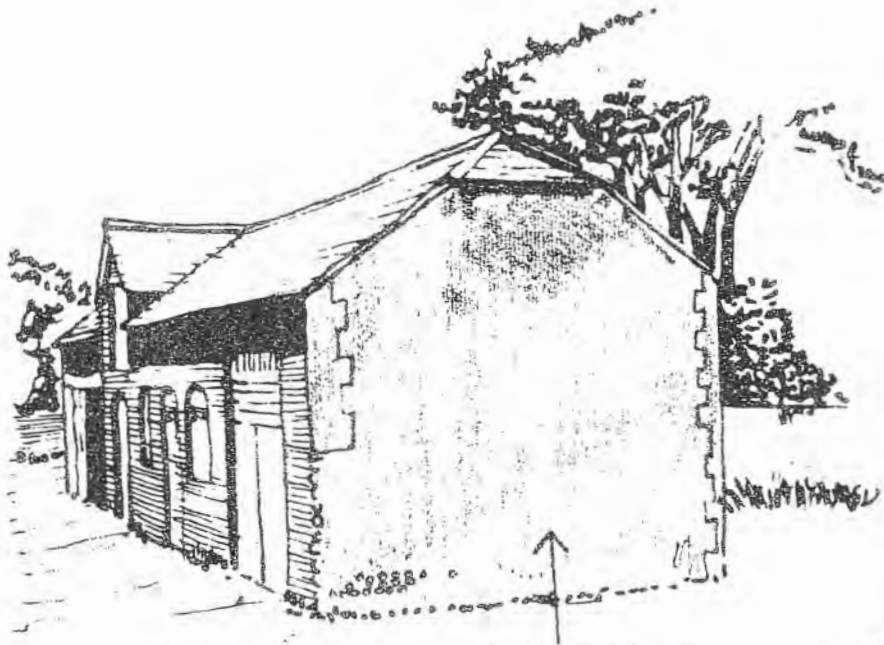


The end of Church Street with the drive leading away on the right to "Peterhouse". A sense of elevation is felt and long views are gained from the northern side.

The general appearance is rather poor, the removal of the unsightly wires and placing underground would help. Some attractive pave or similar flooring to the existing parking area is another possible improvement. The former stables contribute considerably to this part of Old Town.

5





Flint gable.

6

An attractive building which with careful adaptation could be put to good use to ensure its survival and make a valuable contribution to any future development of the Community Centre area.

**FORMER STABLE ADJOINING ST. PETER'S COMMUNITY CENTRE**

### 2.3 Enclosure.

Generally the road pattern is a series of gently curving streets (High Street, Chantry Lane), which link small enclosed areas at the road junctions and allow unexpected changes of direction and level to take place. A sense of enclosure is provided by the buildings and also by significant perimeter tree groups and the very fine flint cobble boundary walls. These walls occur throughout the Old Town and are reminiscent of settlements further west on the chalk. They are an essential feature of the Old Town and are therefore a valuable element in its character. Care must be taken to preserve these walls and where appropriate to secure that any new walls built are to a similar style. Any wide-spread use of wattle fencing, concrete rock faced block or similar proprietary materials must be discouraged, otherwise the existing continuity of boundary elements will be lost.

### 2.4 Views.

There are several points from within the town where either a degree of elevation is felt (East end of High Street, Manor Gardens), or long views out towards the sea are available. Particular care should be taken to respect these viewpoints as it would be sad to have climbed one of the steep approach roads and thus know one was high up, and be unable to experience these views. The approach from the De La Warr Road looking towards The Antique Centre (Quakers Mill) allows an open view to be gained which shows how the intricate pattern of roofs can dominate the scene and how necessary it is to carry out any re-roofing works or repairs in original materials such as clay tiles (figure 3). Recent work using modern concrete interlocking tiles to Camellia Corner (No. 7 De La Warr Road) is an example of how incongruous non-traditional materials can be in a historic area.

### 2.5 Listed Buildings.

There are few buildings in the Old Town which are individually outstanding in pure architectural terms, but as groups they form pleasing urban environment (sketch No.3), and possess some fine architectural detailing in their entrance doorways (sketch No.4). At present there are ten statutorily "listed buildings" (either individual or a unified group) and 9 Grade III Groups which were included on the former "supplementary list" (see appendix I and drawing No.4). Two notable demolitions in recent years have been "Peterhouse" which has been replaced by a modern Old Persons Home, and the Manor House and South Lodge which were removed to allow junction and road improvements to take place at the top of De La Warr Road. This latter demolition has certainly removed the sense of enclosure from this area of Old Town, but has provided an extremely attractive series of public gardens together with some much needed local as well as visitors' car parking. The retention of many mature trees and use of materials of local character has done much to reduce the possible unfavourable impact of the scheme. The buildings which extend from No. 1 Church Street, eastwards to No. 1 Hastings Road must now form the new urban wall to the settlement. However, it may be possible to effectively enclose the view east out of High Street by tree planting on the site of South Lodge. The Department of the Environment are at present carrying out a re-survey of listed buildings in Bexhill, which will probably result in the large majority of buildings in the Old Town being listed for their group value. The expanded Bexhill Antiques Centre housed in Mariners and Quakers Mill has brought a new lease of life to this important group of buildings, but care must be taken to prevent any possible over-provision of advertisement signs which might fragment the clear outlines of the clap-boarded walls.

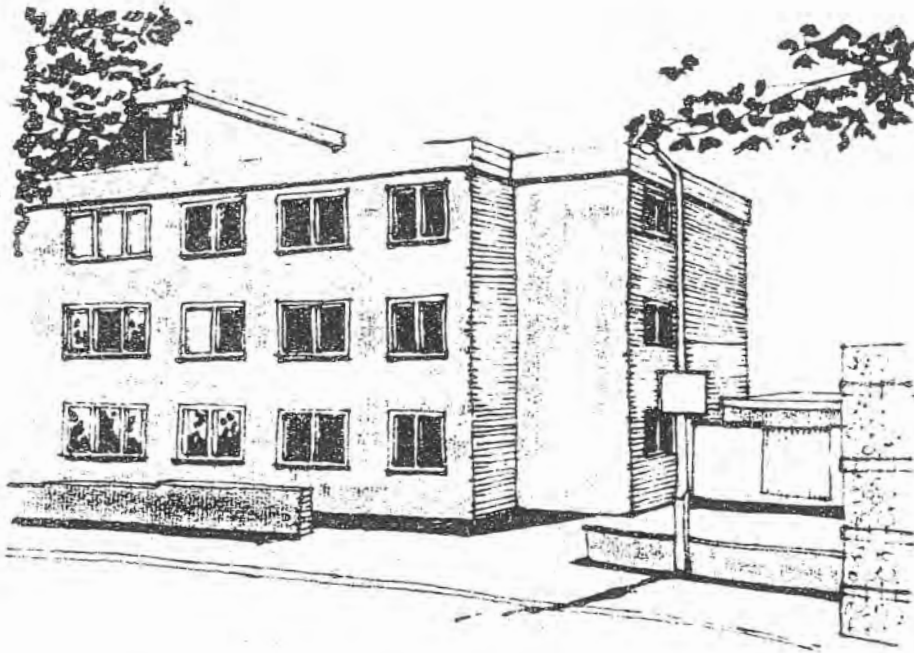


# roofscape

This drawing illustrates the intricate pattern of traditional roofs with small spans.

Figure No. 3.





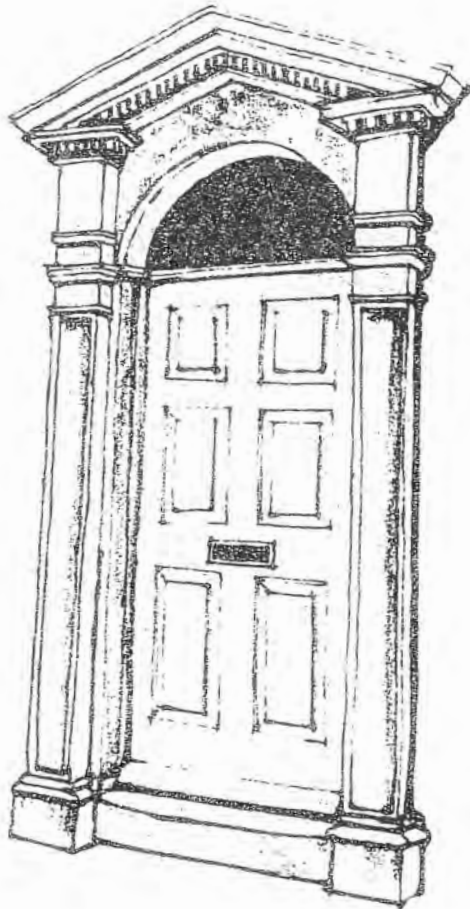
New flats in Hastings Road which are typical of many modern developments in the town. This kind of design would be quite out of scale and unacceptable in an historic area.



The group of buildings at the eastern end of High Street illustrate a pattern of development which could be repeated in a new building. The vertical elements, use of projecting bays and stepped steeply pitched roofs add a richness of design which is lacking in the building above.

## TOWN SCAPE

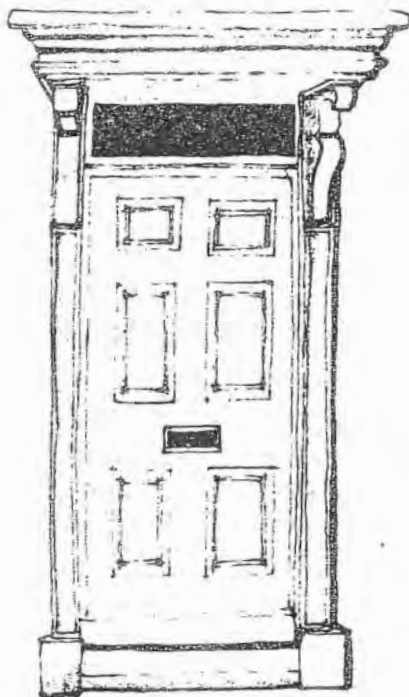
Sketch No. 3.



The fine doorway to "Osborne House" 18th century, two doric pilasters, pediment with dentil course, and semi-circular fanlight. The detailing on this doorway alone stimulates the observer.



The high rendered boundary wall to High Street also contains the entrance porch to "Linkwell" which stands behind. This kind of sensible urban planning enriches the Old Town.



Another doorway - from "Boswell House". A style commonly used in Old Town.

#### DETAILS

DOORWAYS.

Sketch No. 4.

## 2.6 Trees.

A detailed survey of existing trees (drawing No.3) confirms the importance of the significant peripheral groups shown on the appraisal plan. It will be noted that there are a considerable number of species with sycamore dominating the scene because it is able to survive in a salt laden atmosphere. There are no major opportunities for new planting but it is considered that some extra hardwood planting behind the site of South Lodge would be helpful in closing the view along High Street. At the present time it is doubtful if any extensive planting along the boundary of the Manor Gardens would be allowed by the Department of the Environment, since such planting would inevitably affect the visibility at the junction of Upper Sea Road and De La Warr Road.

## 2.7 Traffic Problems.

Sketch No.5 showing a heavy articulated lorry negotiating the double 'S' bend at the junction of Belle Hill and High Street illustrates clearly the problems associated with many historic areas in Sussex. It is not so much excessive vehicle flows, but the inadequacy of the roads to accommodate this type of vehicle. In the interests of Conservation it is hoped that the Old Town by-pass is approved and speedily implemented. If not there will remain a constant pressure for road improvement works which would be inconsistent with the needs of conservation. Assuming that the by-pass is constructed in the near future, it will be necessary to pay great attention to the detailed finishes, alignment, levels and landscape treatment to that section which passes over Chantry Lane and to the north of Peterhouse (sketch No. 6).

## 2.8 Changes of Use.

Conservation does not, except in special circumstances, mean preservation. It does, however, imply change with care. Concern has been expressed at the trend of converting shops to houses. It is important for any local community to have access to local convenience shops, but it must be recognised that current retailing and renting patterns put some shops in fringe locations under pressures for changes of use. From a physical planning point of view, what is important is that any change of use be executed to a high standard of design.

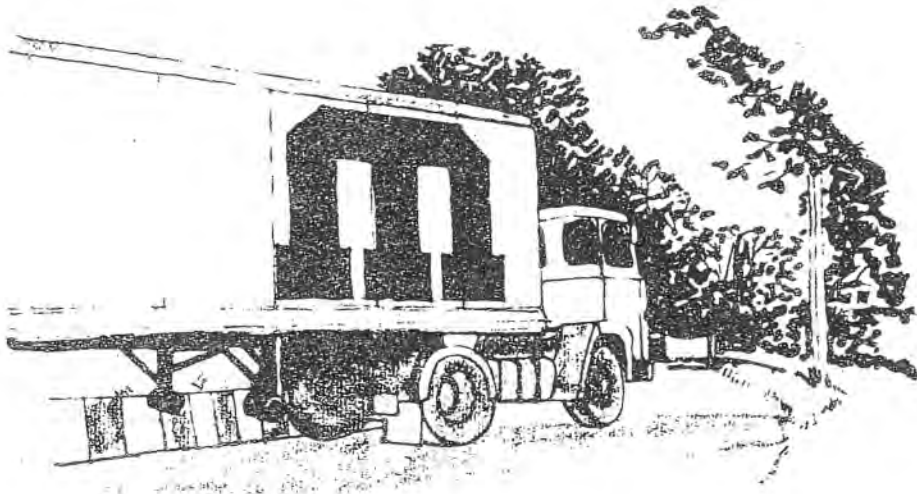
## 2.9 Outstanding Planning Consents.

It is fortunate that no outstanding planning permissions exist which will compromise the character of the proposed Conservation Area. Therefore all future developments can be viewed in the context of conservation and thereby encourage schemes to be produced which will further enhance the appearance of the area.

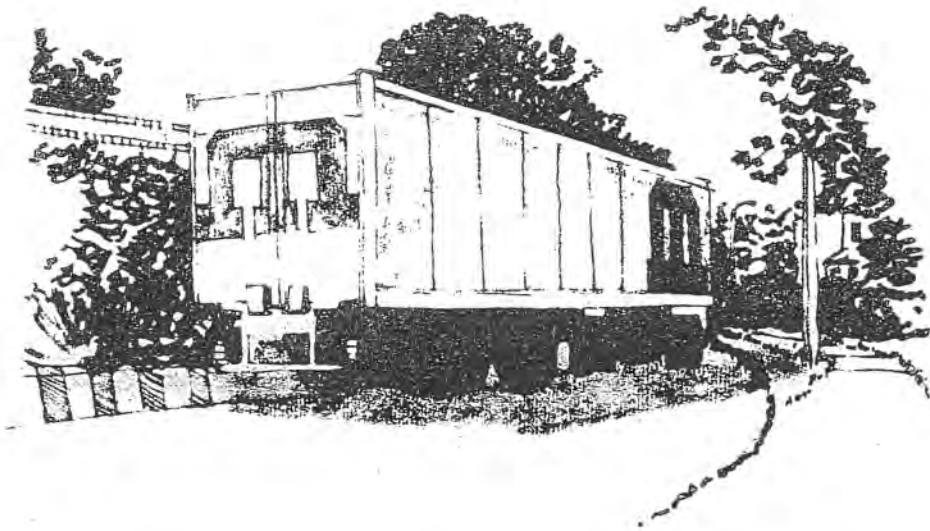
## 2.10 Ground Surfaces.

The use of brick paving contributes to the finely detailed nature of paths in the area and particularly in the Manor Gardens where these are used widely, shows how important it is to resist the use of a cheaper material such as macadam or ordinary concrete slabs.





A Continental articulated lorry entering Belle Hill from High Street, demonstrating the obvious physical inability of the Old Town roads to cater for this kind of vehicle.

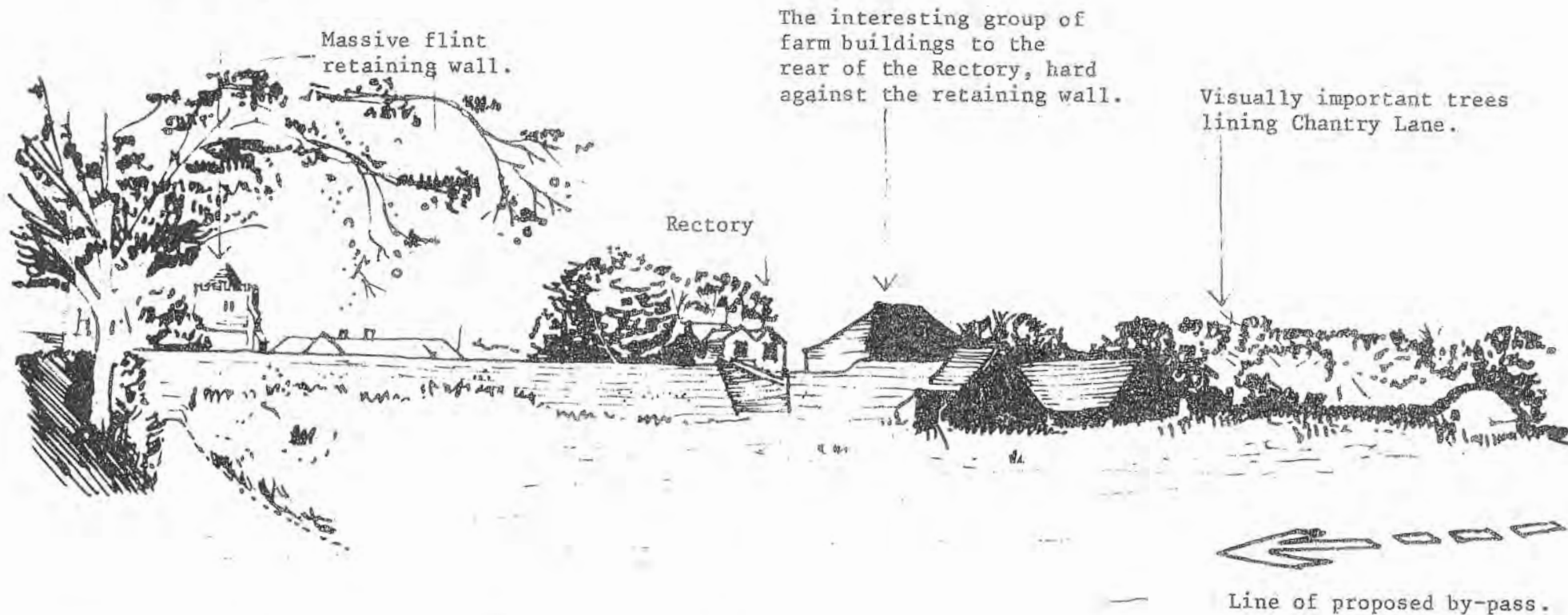


Any improvements to the existing roads to allow such lorries free movement would certainly result in the destruction of the existing subtle relationship between road and buildings and remove the sense of enclosure.

Sketch No. 5.

ST. PETER'S CHURCH

15



THE VIEW OF THE OLD TOWN FROM THE NORTH SHOWING THE IMPORTANT 'HARD EDGE' WHICH SHOULD BE RETAINED AND RESPECTED IN THE DESIGN OF THE BY-PASS.

Sketch No. 6.

### 3. THE CONSERVATION AREA.

3.1 The choice of area which should be designated is influenced by the presence of those elements referred to in the survey and which are represented on the appraisal plan. It is the existence together of these features in a single area which create an identified character, which it is desirable to protect and enhance. The need to present an exact boundary is required by legislation and this has been done bearing in mind those areas where the observed character of Old Town no longer exists. The boundary proposed is shown on page 23 (drawing No.2).

3.2 The four approach roads to the Old Town provide suitable locations where the external limits of the area can be assessed. These may be listed as follows:-

- I. Belle Hill
- II. Chantry Lane and the line of the proposed by-pass.
- III Hastings Road
- IV Upper Sea Road and the Manor Gardens.

I. Belle Hill - although this entrance to Old Town contains some buildings of architectural and historic interest, the overall value is reduced by the presence of modern development, particularly on the northern side. However, as an approach it is important and care will be exercised when considering any development proposals. Section 28 of the Town and Country Planning Act 1971/74 provides for the advertisement of any development which in the opinion of the authority would affect the character or appearance of the Conservation Area. This section applies to sites which are located either within or outside the designated area. Therefore the failure to include any individual building or desirable feature does not mean that the need to preserve and enhance its appearance will be disregarded.

II. Chantry Lane - Reference has been made to the value of the northern edge of Old Town (sketch No. 6) and the need for control in consideration of the detailed design of the by-pass. It is therefore appropriate to include the land up to this line in the Conservation Area.

III. Hastings Road - The rear gardens of the houses in this road contain many visually significant trees which, together with Dorset Lodge, form the north-eastern entrance to De La Warr Road.

IV. The Manor Gardens - The extensive woodland trees which were retained during the construction of the new car park and opening of the former Manor House Gardens, form a visual and physical barrier to the remainder of the town. This open character is continued further west across Upper Sea Road to the tree groups which are situated behind Linkwell and 96 Belle Hill.



#### 4. OPPORTUNITIES.

4.1 The designation of a Bexhill Old Town Conservation Area is a means to an end - the preservation and enhancement of the character and appearance of the area. The Survey of the Old Town has illustrated the features which distinguish the Old Town from the rest of Bexhill and justify its receiving special attention, and this section is intended to consider the opportunities for preservation and enhancement which presently exist. However, it is as well to commence with a more general review of the main visual objectives which are being sought:-

1. The aesthetic character of the area - its enclosure, human scale, patterns of roofs etc. - matters upon which the Survey had concentrated, but in addition there are other important visual goals.
2. The historical associations which are expressed by the present character of the area and which relate to the community spirit of Bexhill as manifested in the "Bexhill 1200" celebrations.
3. The distinctiveness of Old Town and the contrasts between it and the many larger areas of Victorian, Inter-War or Post War development at Bexhill. Such contrasts make for a memorable town, a "place".
4. The variety and unpredictability of the Old Town, the many small changes in direction and appearance which arouse interest and stimulate the imagination, in much the same way as the front gardens of a suburban development attract the interest of the passer-by with their variety.

4.2 It will be seen from the appendices that the legal controls following designation are wide; however, the positive enhancement of the area will depend for the most part on the approval of and support of those living and working in the area. It is to be hoped that by consulting the local planning authority at an early stage in the conception of proposals for development, misunderstandings about what is or not acceptable can be overcome and a constructive approach can be fostered. The factors to be considered at the design and planning control stages have been set out and discussed in the Survey.

4.3 The local authority may allocate monies to be used either for some specific scheme of enhancement e.g. replacement of a normal tarmacadam path with brick pavers, or more generally by making advances by way of grants or loans for works on buildings of architectural or historic interest under the Local Authorities (Historic Buildings) Act, 1962.

4.4 It may also be possible to promote a scheme directed at improvement of the standard of finishings provided by the Highway Authority or Statutory Undertakers. Typically such a scheme might seek to place G.P.O. telephone wires underground.

4.5 The ability of the Local Authority to set aside funds for conservation will however, be subject to any overall budgetary control dictated by the economic situation ruling at the time.

#### 4.6 Local Authority Development.

The Rother District Council own two visually important buildings in the Old Town, which at present are in need of structural and decorative improvements if their survival is to be satisfactorily secured:-

(a) Barrack Hall.

The site on which this building stands was acquired by the former Bexhill Borough Council with the intention of providing additional housing accommodation, together with some recreational facilities such as tennis courts, to complement the quieter area provided by the Manor Gardens. The provision of a new vehicular access to the site is crucial to any future use. It will be essential that any new access and buildings shall be designed in sympathy with Barrack Hall and its setting. Sketch No. 7 shows a view of the site from High Street and illustrates the sense of enclosure provided by the trees lining Belle Hill at this point.

(b) The former Coach House, Manor House.

Notes summarising an appraisal of this building are given below



THE FORMER COACH HOUSE TO THE MANOR HOUSE.

This building with its modelled roof, containing a large gable, gablets and barn hips, is at present used for storage purposes by the Parks and Gardens Department. The original hoist door and beam survive and the elevation facing the Manor Gardens is enriched by an octagonal turret capped by an ogee lead dressed cupola.

The building forms an important component amongst the group of buildings which remain in the grounds of the former Manor House. These buildings include the Manor Barn, and the Costume Museum. There is a direct pedestrian link from the Coach House which leads to the Manor Gardens and Car Park. Unfortunately the building is becoming rather dilapidated and it seems reasonable to suggest that unless a suitable use is found in the near future, its condition will deteriorate.

The view has been expressed that a building should be found in Bexhill which could conveniently house the Town Museum. The use of the Coach House for this purpose would ensure this important building's survival.



Barrack Hall

VIEW AT THE JUNCTION BETWEEN HIGH STREET, CHANTRY LANE AND BELLE HILL.

Sketch No. 7.

A SUMMARY OF THE LEGISLATION RELATING TO CONSERVATION AREAS AND LISTED BUILDINGS.

1. CONSERVATION AREAS.

Under the Town and Country Planning Acts 1971/74:

- (a) application must now be made for the demolition of all buildings (with certain exceptions) in a Conservation Area.
- (b) the authority must prepare schemes for the preservation and enhancement of their Conservation Areas
- (c) the authority must consider whether to designate further Conservation Areas if the Secretary of State so directs
- (d) the authority must give notice in local newspaper in respect of areas already designated, of the extended controls on the demolition of buildings.
- (e) the authority must obtain consent of the Secretary of State to demolish a building in a Conservation Area.

2. ADVERTISEMENT CONTROL.

The Secretary of State may make special regulations, more strict than normally available, for control of advertisements in Conservation Areas.

3. SETTING OF A LISTED BUILDING.

The authority must now give publicity to any proposal which would affect the setting of a Listed Building.

4. URGENT WORKS.

Secretary of State and Local Authority may execute urgent repairs to preserve any unoccupied building in a Conservation Area which is a Listed Building or to which the Secretary of State has made a direction under Section 101(3) and recover the costs of the repairs.

5. COMPULSORY ACQUISITION OF LISTED BUILDINGS.

The automatic assumption that compensation could be based on a cleared site value, i.e. the building being demolished, is removed (except for any class specified in Schedule 8 of the 1971 Act).

6. LOCAL AUTHORITY LISTED BUILDINGS.

When the authority applies for Listed Building Consent in all cases it must be direct to the Secretary of State irrespective of ownership.

7. TREES.

Anyone wishing to cut down, top lop or uproot any tree in a Conservation Area (with certain exceptions) must give the authority 6 weeks notice. This must be recorded by the authority in a register open to public inspection and the notice must contain sufficient particulars to identify the tree concerned.

8. GRANTS FOR HISTORIC GARDENS.

Secretary of State can pay grant towards upkeep of a garden or land of outstanding historic interest.



## 9. LISTED BUILDINGS.

The Secretary of State for the Environment and the Secretary of State for Wales are required to compile lists of buildings of special architectural or historic interest. The administration of both local and national conservation policies is based on these lists, which are constantly under revision. The buildings are classified in grades to show their relative importance as follows:-

Grade I - These are buildings of exceptional interest (only about 4 per cent of listed buildings so far are in this grade).

Grade II - These are buildings of special interest, which warrant every effort being made to preserve them. (Some particularly important buildings in Grade II are classified as Grade II\*.)

Grade III - This grading is no longer used but Grade III buildings were those which, whilst not normally qualifying for the statutory list, were considered nevertheless to be of some importance. Many of these buildings are now considered to be of special interest by current standards - particularly where they possess 'group value' - and are being added to the statutory lists as these are revised; the remainder form the basis of a 'local list'.

## 10. LISTED BUILDING CONSENT.

Now anyone who wants to demolish a listed building, or to alter one in any way that affects its character, must obtain 'listed building consent' from the local planning authority. It is an offence to demolish or alter a listed building without listed building consent and the penalty can be a fine of unlimited amount or up to twelve months' imprisonment, or both.

## 11. LISTED BUILDING CONSENT AND PLANNING PERMISSION.

There are two special points about listed building consent and its relation to planning permission. If you want to redevelop a site on which a listed building stands, you will need both listed building consent for the demolition, and planning permission for the new buildings. Planning permission alone is not sufficient to authorise the demolition. But if you want to alter a listed building in a way which would affect its character, and your proposed alteration amounts to development for which specific planning permission is required (as distinct from a general permission given by the General Development Order), you will only need the express authorisation of planning permission, which, in this case only, also counts as listed building consent.

## 12. REPAIRS.

If the owner fails to take reasonable steps for preserving a listed building, the local authority may be entitled to buy it compulsorily (with the Secretary of State's consent).

If the owner deliberately neglects the building in order to redevelop the site, the local authority may not only acquire the building, but may do so at a price which excludes the value of the site for redevelopment (see paragraph 6).










Owners of listed buildings can, in some cases, get grants or loans to help them with repairs and maintenance.

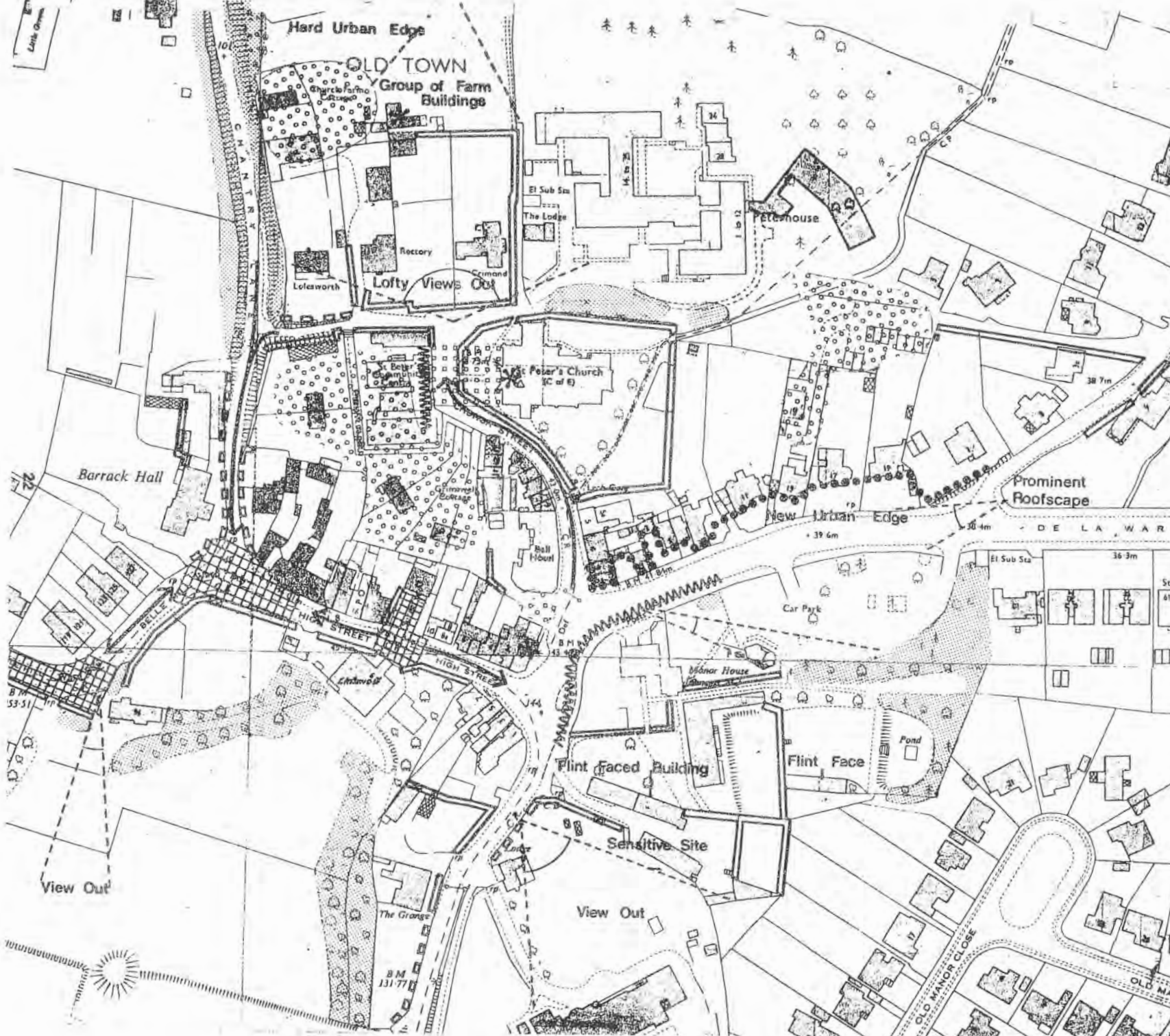
## LIST OF STATUTES.

Historic Buildings and Ancient Monuments Act 1953.  
Local Authorities (Historic Buildings) Act 1962  
Town and Country Planning Act 1971  
Town and Country Planning (Amendment) Act 1972  
Town and Country Amenities Act 1974.

# Bexhill Old Town

## Key

- Flint Cobbled Walls  Some have red brick courses and copings. These dominate the area and contribute to its quality
- Brickwork/Stone Walls. 
- Spaces with Enclosure. 
- Linear Enclosure; Progression. 
- Exposure/Loss of Enclosure.  WWWW
- Potential Square. 
- Focal Point. 
- Major Significant Tree Groups 
- Visually Poor Areas/Loss of Character. 

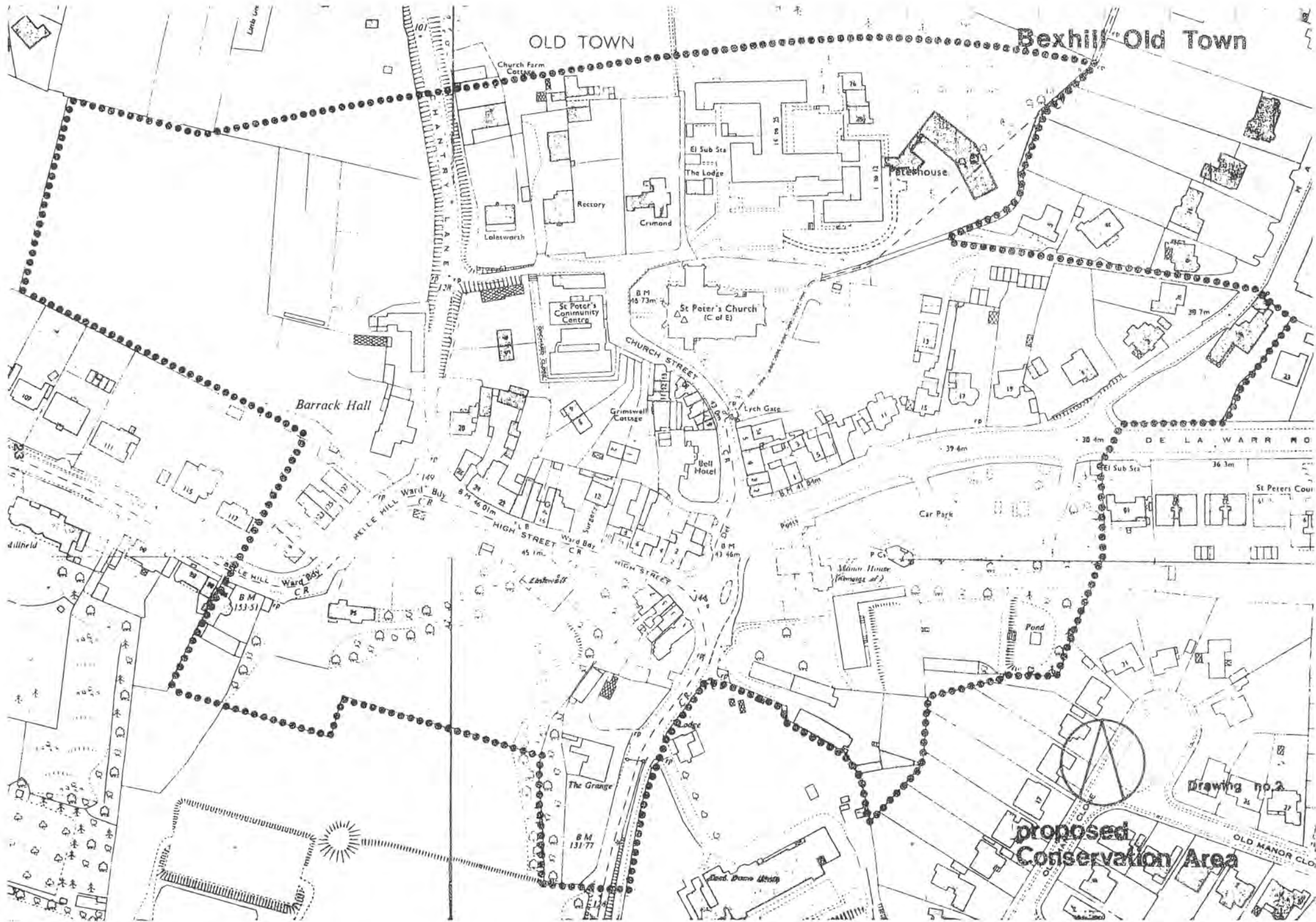


## VISUAL APPRAISAL

Drawing No.1

OLD TOWN

Bexhill Old Town



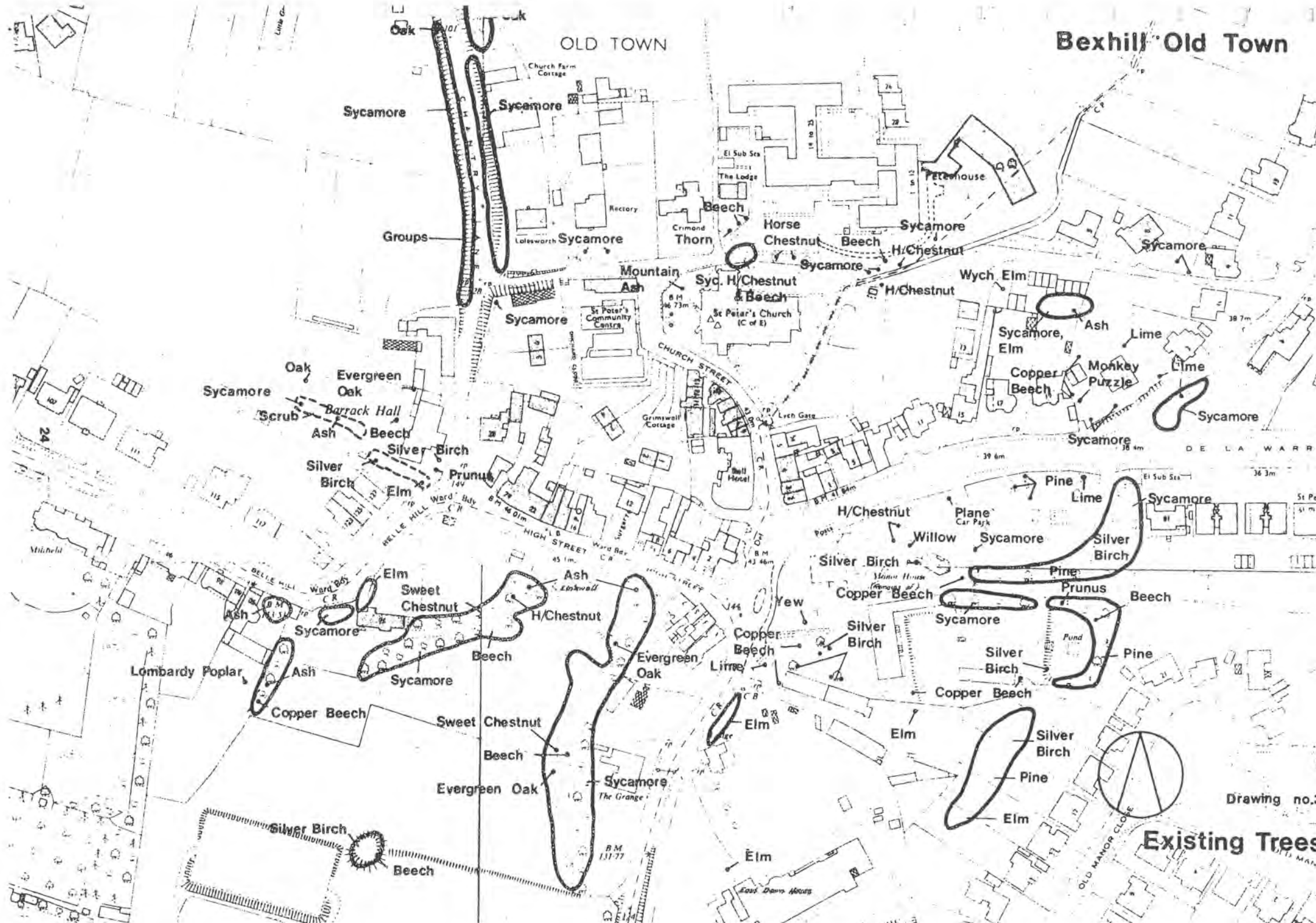
Drawing no. 2

proposed Conservation Area



OLD TOWN

Bexhill Old Town



Drawing no.3

Existing Trees



# Bexhill Old Town

Statutory Listed Buildings  
(grades I & II)

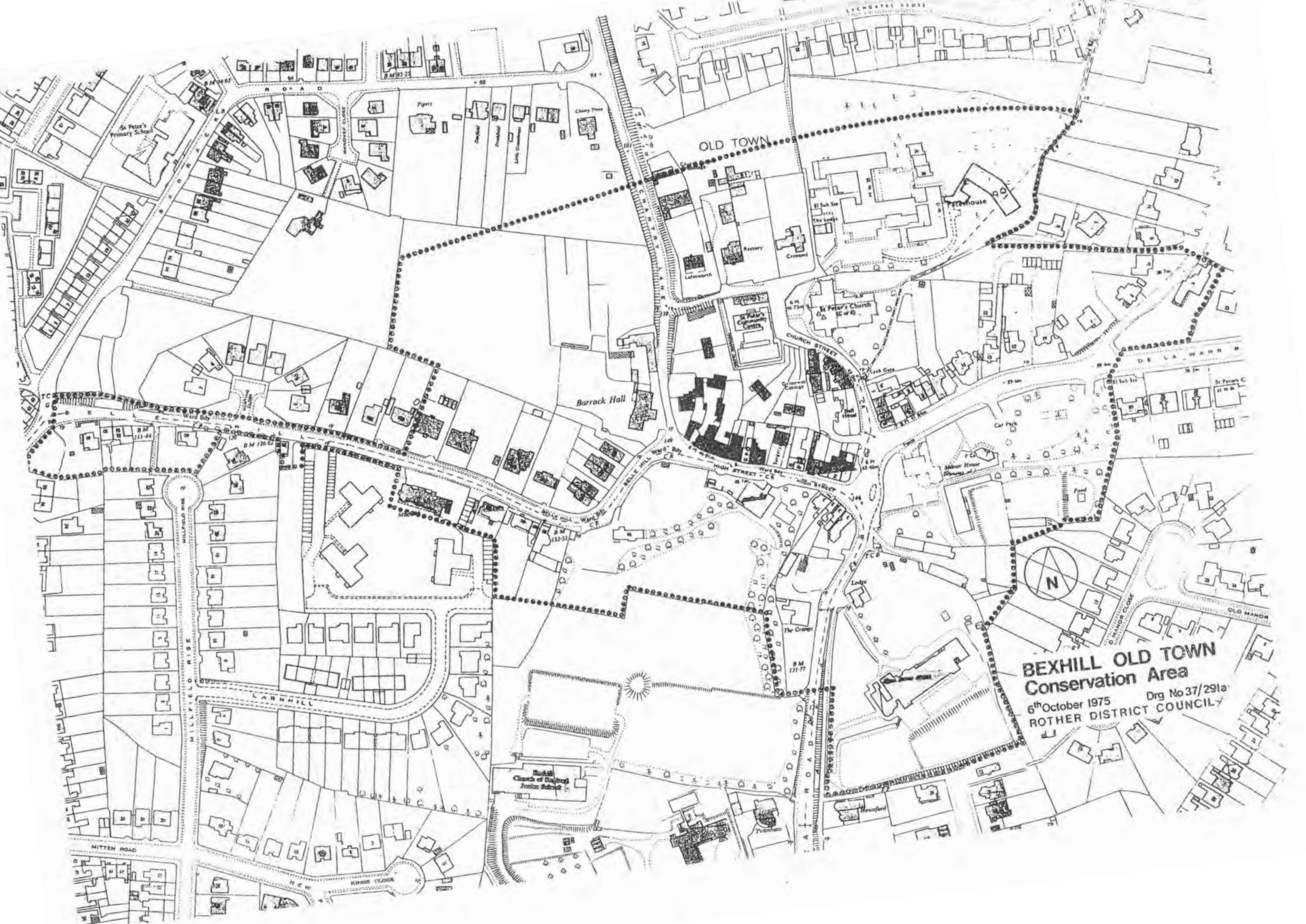
Supplementary Listed Buildings  
(grade III)

Statutory Listed Ecclesiastical  
Building



## LISTED BUILDINGS

Drawing No. 4



OLD TOWN

Barrack Hall

**BEXHILL OLD TOWN**  
**Conservation Area**

6<sup>th</sup> October 1975  
DRG No 37/291a  
ROTHER DISTRICT COUNCIL



St Peter's Primary School

St Peter's Church

Bexhill Church of England Junior School

MITTEN ROAD

KINGS CLOSE

LARKHILL

MILLFIELD RISE

HIGH STREET

CHURCH STREET

DE LA WARR

OLD MANOR

OSINGTON CLOSE

WINDY COUSE

Fig 177

Cherry Tree

Barfield

Providence

Little Church

Lifesaver

History

Crossed

Telephone

St Paul's Community Centre

St Peter's Church

St Peter's Church

St Peter's Church

St Peter's Church

St Peter's Church

St Peter's Church

St Peter's Church

St Peter's Church

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